



BUILDING INSPECTION SERVICES



BUILDING REPORT

north pole st
Koo Wee Rup, VIC 3981

father xmas
10/10/2025



Inspector

Brett Maslen DBU 21283

Building Inspector - Builder

0425818955

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HELPING YOU TO GET TO KNOW YOUR PROPERTY

INSPECTION DETAILS	INSPECTOR DETAILS
Address: Koo Wee Rup, VIC 3981 Date: 10/10/2025 Inspection Time: 9:30 am	Inspector: Brett Maslen Phone: 0425818955

Please find my completed report below, and I encourage you to read the report in its entirety.

Thank you for choosing our services for your property inspection needs. We appreciate the opportunity to assist you in evaluating your property. This report aligns with the specifications outlined in the Australian Standard AS4349.1 2007, defining the parameters of the property inspection.

It's important to recognize that client expectations may occasionally extend beyond the standard inspection scope. While we strive for a comprehensive assessment, this report serves as a snapshot of the property's condition as of 10/10/2025 at 9:30 am. We cannot anticipate future events or circumstances post-inspection, and therefore, we cannot be held responsible for issues that may arise thereafter.

Please thoroughly review this report. Understanding all provided information is crucial. If you have questions or need clarification, feel free to contact Brett Maslen, your inspector, before making decisions based on the report.

Although our inspectors are experienced, it's essential to note that they are not Structural Engineers. This report reflects the inspector's professional opinion based on their expertise. If concerns are raised, we strongly recommend consulting a qualified structural engineer or building professional for further assessment and advice.

TERMS AND DEFINITIONS:

Carefully read and comprehend the following definitions of terms in this report and the signed Agreement. This ensures a clear understanding of the inspection scope, challenges faced by the inspector, and the report contents. By accepting the Building Inspection Client Agreement, you confirm having read and understood its contents,

acknowledging that the inspection adhered to the agreement terms and AS4349.1.2007 standards.

Our commitment to effective communication involves a formal tone, creative style, and clear English language usage. We aim to provide you with a comprehensive and professional understanding of the inspection process terms and conditions.

For General Information, click the [INFORMATION TAB](#) at the top of each section to reveal more information when viewing here in HTML format.



		INS	NI	NP	DEF
4.1	Door(s) Condition				
4.2	Window(s) Condition	X			
4.3	Walls	X			
4.4	Ceiling Conditions	X			
4.5	Floor Condition	X			
4.6	Shelving/Draws Condition	X			

INS = Item Inspected NI = Not Inspected NP = Not Present DEF = Deficiency

COMMENT DESCRIPTIONS:

Inspector comments fall into the following categories:

INSPECTED - (INSP): The item was inspected and appeared to function as intended, accounting for age and normal wear and tear.

NOT INSPECTED - (NI): The item was not inspected for reasons specified, and its functionality cannot be determined.

NOT PRESENT - (NP): The item was not in the property.

DEFICIENCY - (DEF): The item was inspected, and a concern, observation, deficiency, or safety issue was identified. It falls under the categories of Maintenance, Defect, or Major Defect/Safety Issue.

MAINTENANCE: Items needing maintenance, DIY/handyman work, or recommended upgrades. Neglecting these concerns may lead to defects or safety issues over time.

DEFECT: Concerns that, if unaddressed, may adversely impact the property's value or pose a risk to people or property. Remediation may require a qualified handyman or contractor.

MAJOR DEFECT/SAFETY ISSUE: A specific issue with significant adverse effects on property value or posing an unreasonable risk (Safety Issue). These concerns may be complex or costly to remedy, necessitating evaluation by a structural engineer and correction by a licensed contractor.



DEFECTIVE

MAJOR DEFECT/ SAFETY
HAZARD

- ⊖ 2.1.1 Front Entry - Door(s) Condition: Paint defect
- ⊖ 2.1.2 Front Entry - Door(s) Condition: Door handle marked from acid wash
- ⊖ 2.1.3 Front Entry - Door(s) Condition: Paint defect
- ⊖ 2.1.4 Front Entry - Door(s) Condition: Door frame damage observed
- ⊖ 2.2.1 Front Entry - Walls: Hole/indent in plasterboard wall requiring repair and repaint
- ⊖ 2.2.2 Front Entry - Walls: Evidence of wall repairs observed
- ⊖ 2.2.3 Front Entry - Walls: Paint Finish Is Below Standard
- ⊖ 2.2.4 Front Entry - Walls: Paint runs on door architrave
- ⊖ 2.2.5 Front Entry - Walls: Marks - indents - poor finishes
- ⊖ 2.4.1 Front Entry - Floor Condition: Damaged grout observed
- ⊖ 3.1.1 Bedroom 1 - Door(s) Condition: Paint defects
- ⊖ 3.3.1 Bedroom 1 - Walls: Paint coverage is not suffice.
- ⊖ 3.3.2 Bedroom 1 - Walls: Paint defect
- ⊖ 3.4.1 Bedroom 1 - Ceiling(s) Condition: Patchy paint observed
- ⊖ 3.6.1 Bedroom 1 - Robe/Cupboard: Poor workmanship quality finishes observed
- ⊖ 4.1.1 Ensuite - Door(s) : Paint defect
- ⊖ 4.3.1 Ensuite - Walls : Marks - indents - poor finishes
- ⊖ 5.2.1 Sitting Room - Wall Condition: Unacceptable finish to painting in most of room
- ⊖ 5.3.1 Sitting Room - Ceiling Conditions: poor paint finish
- ⊖ 6.2.1 Kitchen - Walls Condition: Poor paint quality
- ⊖ 6.3.1 Kitchen - Ceiling Conditions: Paint Defect observed
- ⊖ 6.9.1 Kitchen - Sink Condition: Sink is out of square to benchtop
- ⊖ 6.9.2 Kitchen - Sink Condition: Suggest caulking as necessary
- ⊖ 6.13.1 Kitchen - Pantry : pantry shelving
- ⊖ 7.3.1 Family Room - Wall Condition: wall out of plumb
- ⊖ 7.3.2 Family Room - Wall Condition: Patching and unfinished paint work observed
- ⊖ 8.2.1 Hall/Passage - Walls : Paint defect observed
- ⊖ 9.1.1 Bathroom - Door(s) Condition: Paint defect
- ⊖ 9.3.1 Bathroom - Walls : Paint defect observed
- ⊖ 10.1.1 Toilet (WC) - Door(s) Condition: Poor paint finish observed

- ⊖ 10.1.2 Toilet (WC) - Door(s) Condition: lift off hinges are required to inward swinging door
- ⊖ 10.3.1 Toilet (WC) - Walls: Paint defect
- ⊖ 11.1.1 Bedroom 4 - Door(s) Condition: Paint defects
- ⊖ 11.3.1 Bedroom 4 - Wall Condition: Paint coverage is not suffice.
- ⊖ 11.3.2 Bedroom 4 - Wall Condition: Paint defect
- ⊖ 12.1.1 Laundry - Door(s) : poor paint quality
- ⊖ 12.3.1 Laundry - Walls : Marks / paint drips / indents / poor finishes
- ⊖ 13.1.1 Bedroom 3 - Door(s) Condition: Paint defects
- ⊖ 13.3.1 Bedroom 3 - Wall Condition: Paint coverage is not suffice.
- ⊖ 13.3.2 Bedroom 3 - Wall Condition: Paint defect
- ⊖ 14.2.1 Bedroom 2 - Door(s) Condition: Paint defects
- ⊖ 14.4.1 Bedroom 2 - Walls: Paint coverage is not suffice.
- ⊖ 14.4.2 Bedroom 2 - Walls: Paint defect
- ⊖ 15.1.1 Attached Garage - Under main roof - Personal Access Door Condition: Hardware is damaged
- ⊖ 15.3.1 Attached Garage - Under main roof - Wall Condition: Paint defects observed
- ⊖ 15.5.1 Attached Garage - Under main roof - Floor Condition: Painting/stains to slab throughout
- ⊖ 15.5.2 Attached Garage - Under main roof - Floor Condition: Damage to floor finish
- ⊖ 17.5.1 Roof & Drainage System - Gutters : Surface scratches observed in areas
- ⊖ 18.2.1 Exterior - Walls: Minor cracking evident to brick work in areas
- ⊖ 18.2.2 Exterior - Walls: Evidence of repairs observed
- ⚠ 18.2.3 Exterior - Walls: Wall overhang exceeds more than 15 mm
- ⊖ 18.2.4 Exterior - Walls: acid washing

1: INSPECTION DETAILS

			INS	N/I	N/P	DEF
INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency						

Information

In Attendance: Building Inspector, Owner(s)	Habitation: The property was vacant, Newly built Home - not lived in.	Building Information: This is a family home
Building Structure: Concrete foundation, Brick veneer, Plasterboard internal linings, Timber truss roof framing, Auminium windows, Rendered front walls, Facia colourbond steel, Colorbond corrugated metal roof cladding, Aluminium framed windows	Foundation/s: Concrete foundation	Walls: Brick veneer construction with timber frame and plasterboard interior, Timber frame, Plasterboard interior lining
Roof Cover: Colourbond Steel, Fascia Steel	Levels: Single Level	Weather conditions: Clear sky, 15 - 20 degrees

Inspection Type:
New Construction - Handover Stage

A professional home inspection is an evaluation of a property's general condition, focusing on identifying potential issues, safety concerns, and maintenance needs. This detailed assessment examines multiple systems and components to provide potential buyers or property owners with a thorough understanding of the property's current state and potential future repair requirements.

Roof frame:
Timber Trusses

The roof frame is a critical structural component of a building that supports the weight of the roof and provides the underlying framework for the roof covering materials. It typically consists of a pitched frame with rafters, trusses, or beams that transfer loads from the roof surface to the building's walls and foundation.

Occupancy
Vacant

If the property is furnished, we can not guarantee that further defects will not be found once the resident's possessions and furniture have been removed. A pre-settlement inspection is always recommended when the building(s) are furnished to identify defects covered by furnishing and stored goods.

2: FRONT ENTRY

		INS	N/I	N/P	DEF
2.1	Door(s) Condition				X
2.2	Walls				X
2.3	Ceiling Conditions	X			
2.4	Floor Condition				X

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Observations

2.1.1 Door(s) Condition

PAINT DEFECT

Will require repair/repaint to improve appearance.

 DEFECTIVE





2.1.2 Door(s) Condition

DOOR HANDLE MARKED FROM ACID WASH

repair or preferably replacement to rectify.

 DEFECTIVE



2.1.3 Door(s) Condition

PAINT DEFECT

 DEFECTIVE

2.1.4 Door(s) Condition

DOOR FRAME DAMAGE OBSERVED

Recommend repair to ensure correct function and improve appearance.



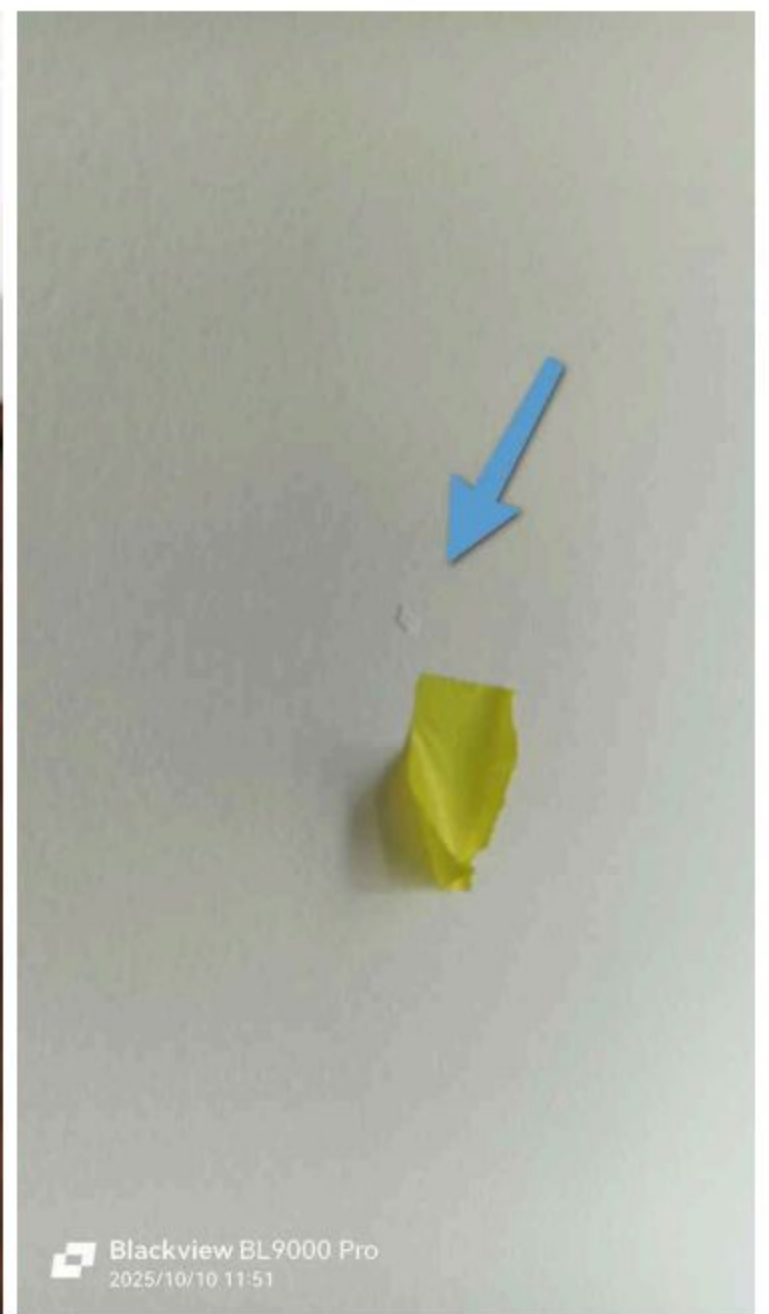
2.2.1 Walls

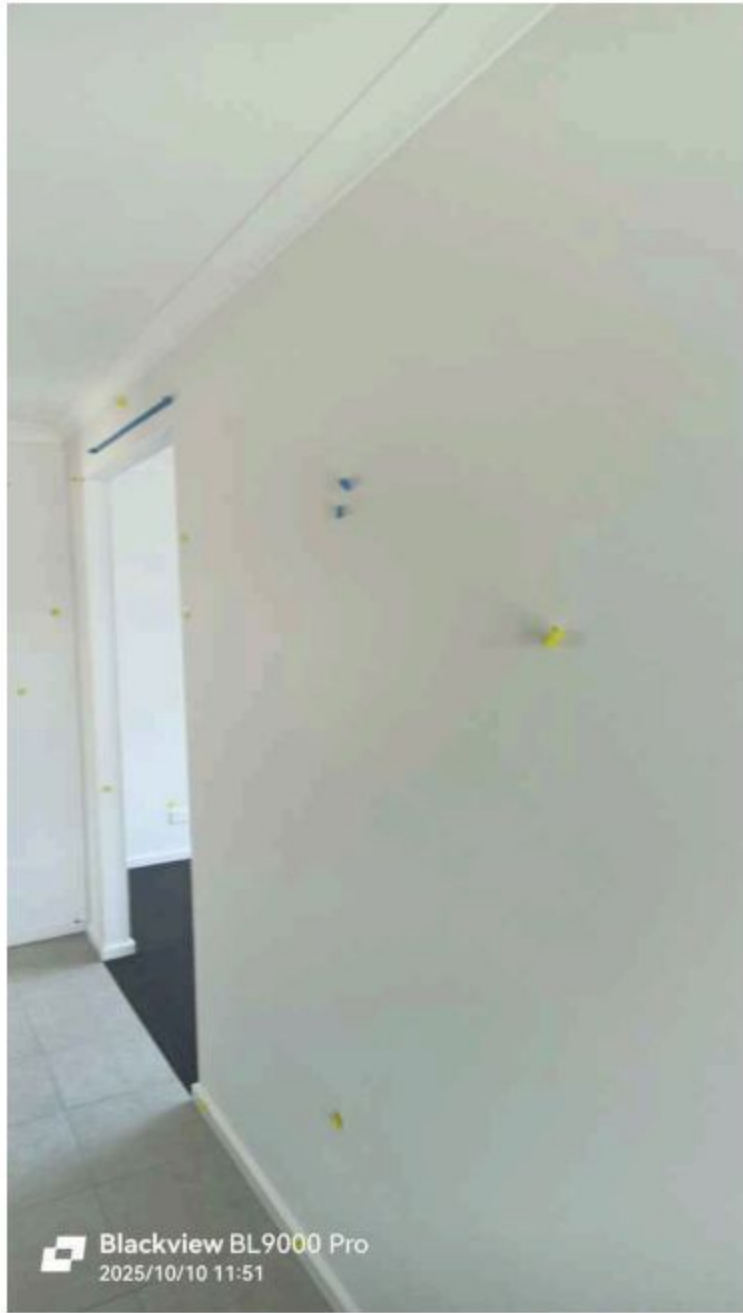
HOLE/INDENT IN PLASTERBOARD WALL REQUIRING REPAIR AND REPAINT

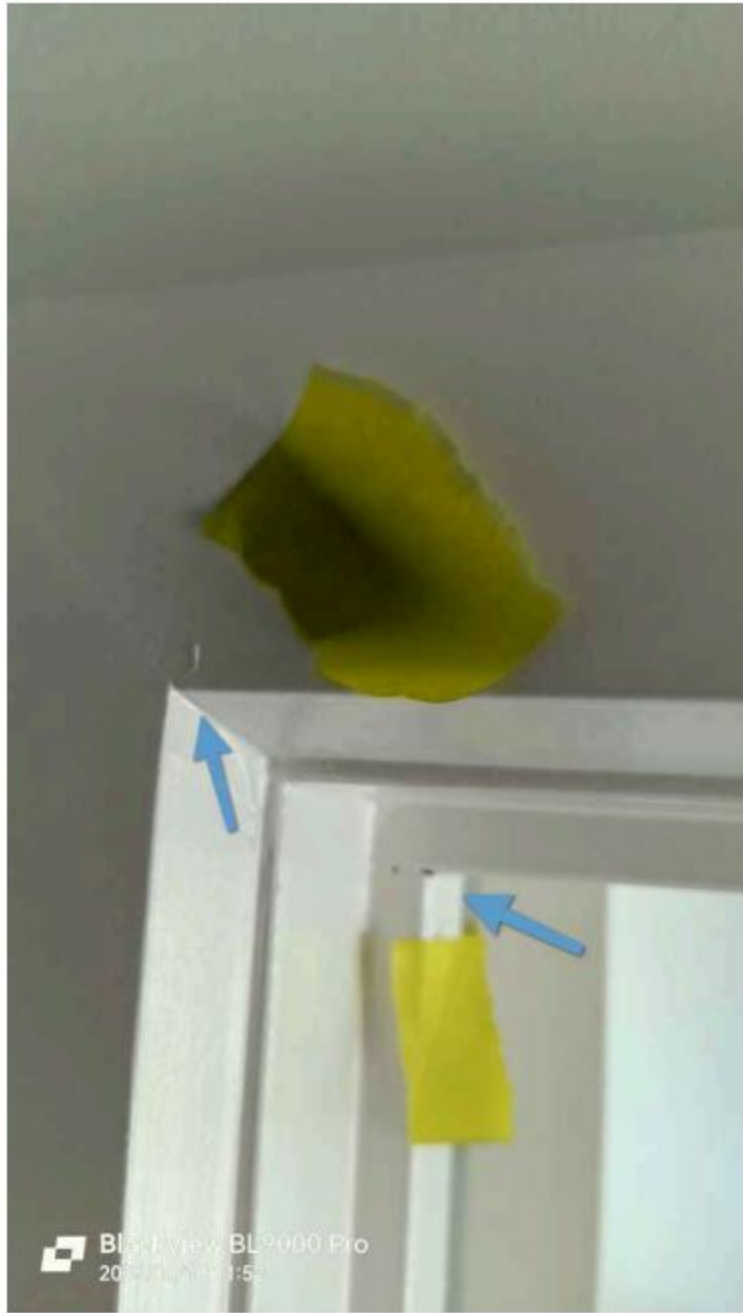
How to repair a hole in drywall/plasterboard then repaint over the patch, however, we recommend painting the entire wall as colour matching will be difficult.



Click this link: [Hole repair link](#)







2.2.2 Walls

EVIDENCE OF WALL REPAIRS OBSERVED

Evidence of previous wall repairs indicates potential past deterioration or maintenance. This suggests the wall may have undergone patching, filling, or restoration work.

DEFECTIVE

2.2.3 Walls

PAINT FINISH IS BELOW STANDARD

Re-painting is recommended



2.2.4 Walls

PAINT RUNS ON DOOR ARCHITRAVE

Recommend sanding out runs and re painting to enhance cosmetic appearance



2.2.5 Walls

MARKS - INDENTS - POOR FINISHES

Minor repairs required



2.4.1 Floor Condition

DAMAGED GROUT OBSERVED

coffee has been spilled onto the grout in the entry and not cleaned satisfactorily



3: BEDROOM 1

		INS	N/I	N/P	DEF
3.1	Door(s) Condition				X
3.2	Window(s) Condition	X			
3.3	Walls				X
3.4	Ceiling(s) Condition				X
3.5	Floor(s) Condition	X			
3.6	Robe/Cupboard	X			

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Information

Walls: Walls Type/Material

Plasterboard Wall Lining

Observations

3.1.1 Door(s) Condition

PAINT DEFECTS

I recommend repainting the door to improve its appearance.





3.3.1 Walls

PAINT COVERAGE IS NOT SUFFICE.

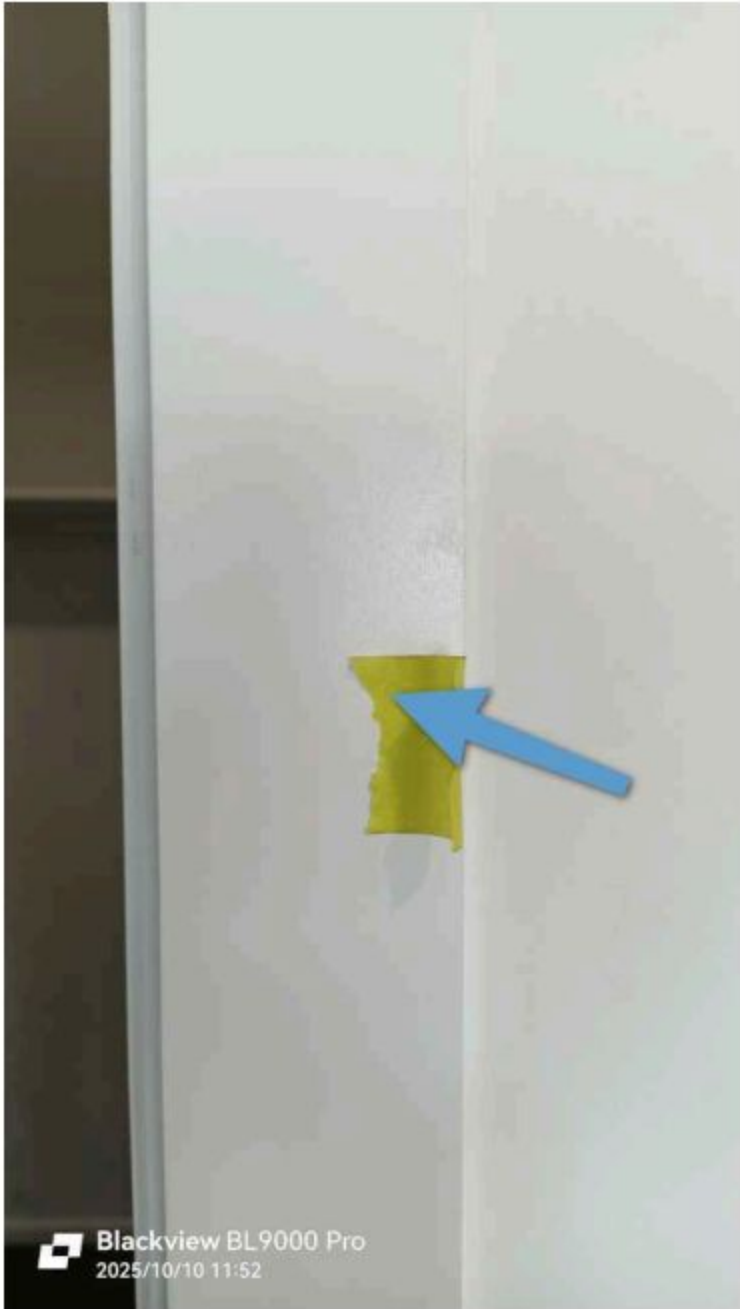
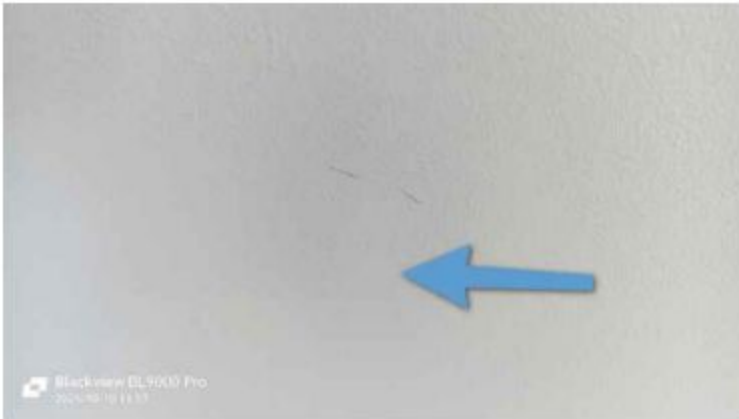
 DEFECTIVE

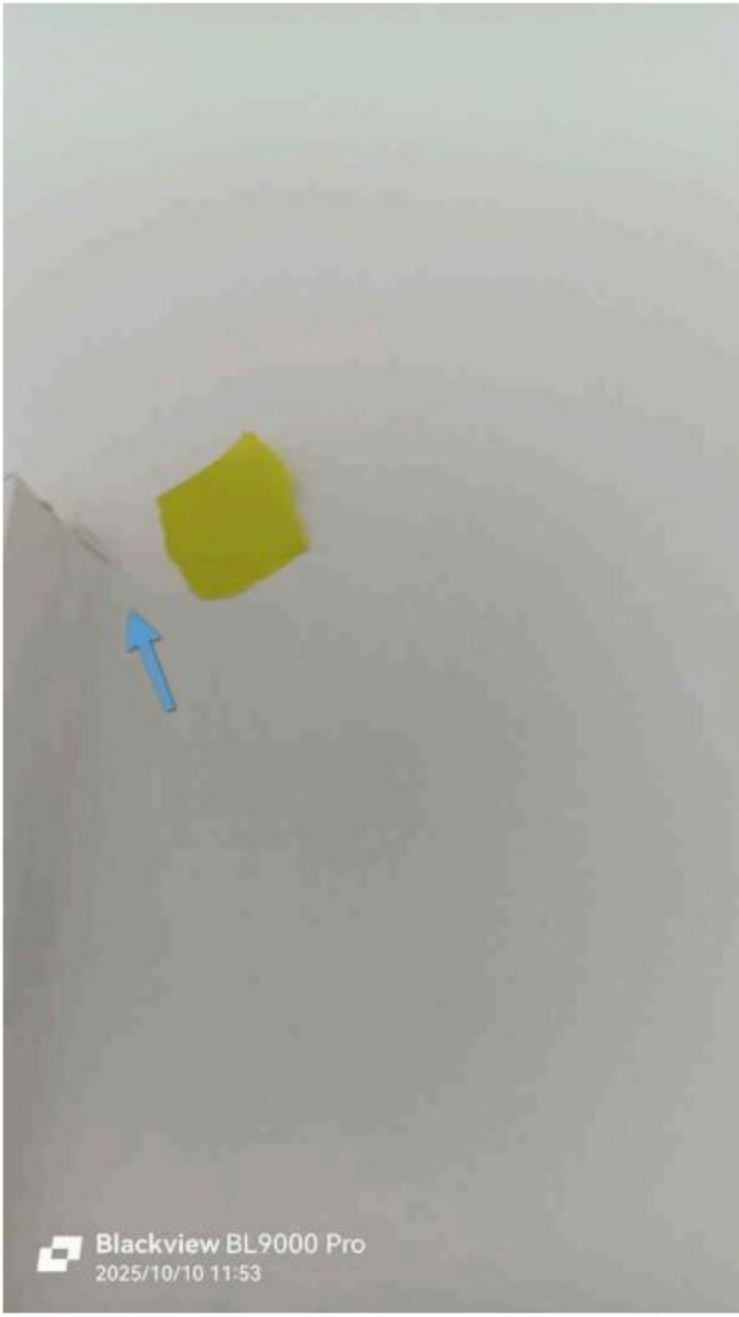
3.3.2 Walls

PAINT DEFECT

Repaint to improve appearance

 DEFECTIVE









3.4.1 Ceiling(s) Condition
PATCHY PAINT OBSERVED
Recommend paint updating

 DEFECTIVE





3.6.1 Robe/Cupboard

POOR WORKMANSHIP QUALITY FINISHES OBSERVED

 DEFECTIVE





4: ENSUITE

		INS	N/I	N/P	DEF
4.1	Door(s)				X
4.2	Window/s	X			
4.3	Walls				X
4.4	Ceilings	X			
4.5	Floor	X			
4.6	Exhaust Fan	X			
4.7	Shower Base	X			
4.8	Shower Surround	X			
4.9	Tap(s)	X			
4.10	Shower Rose/Mast	X			
4.11	Shower Door/Curtain Condition	X			
4.12	Mirror	X			
4.13	Splashback	X			
4.14	Vanity/Cabinet/s	X			
4.15	Sink/s	X			
4.16	Waste Water Trap/s	X			
4.17	Toilet	X			

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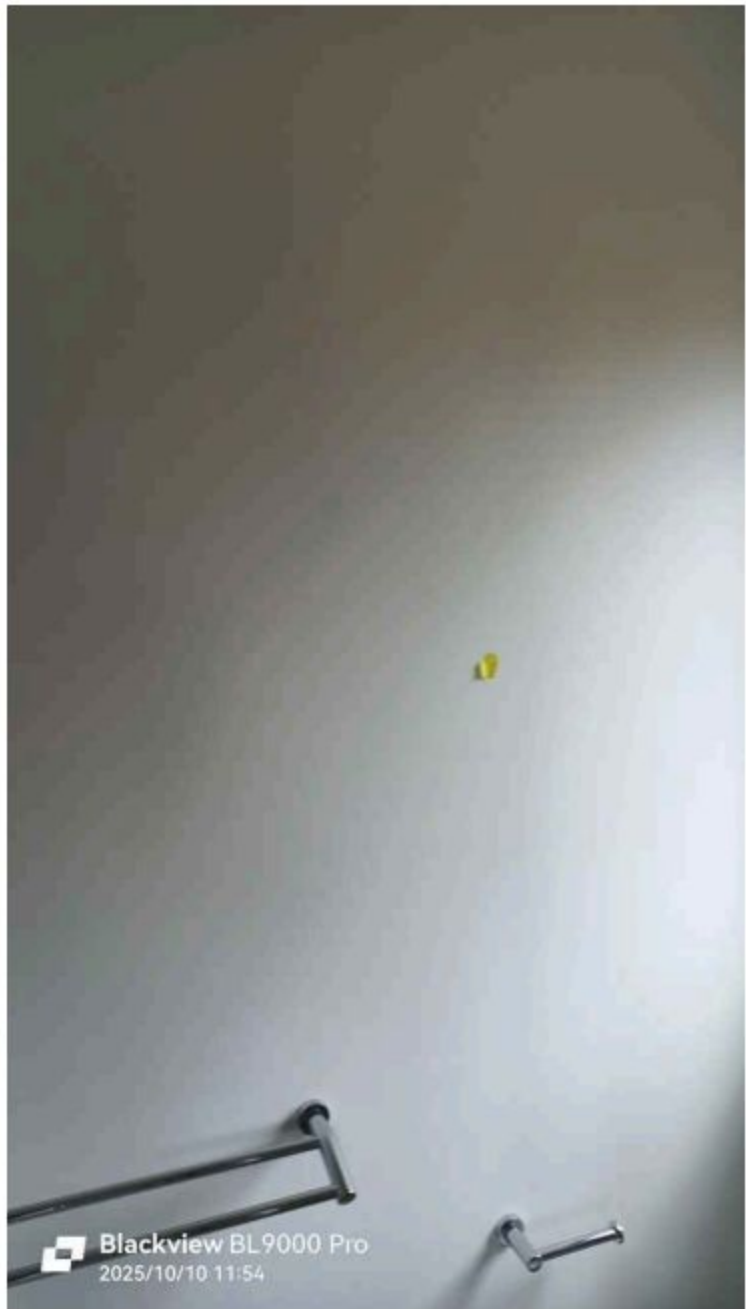
Observations

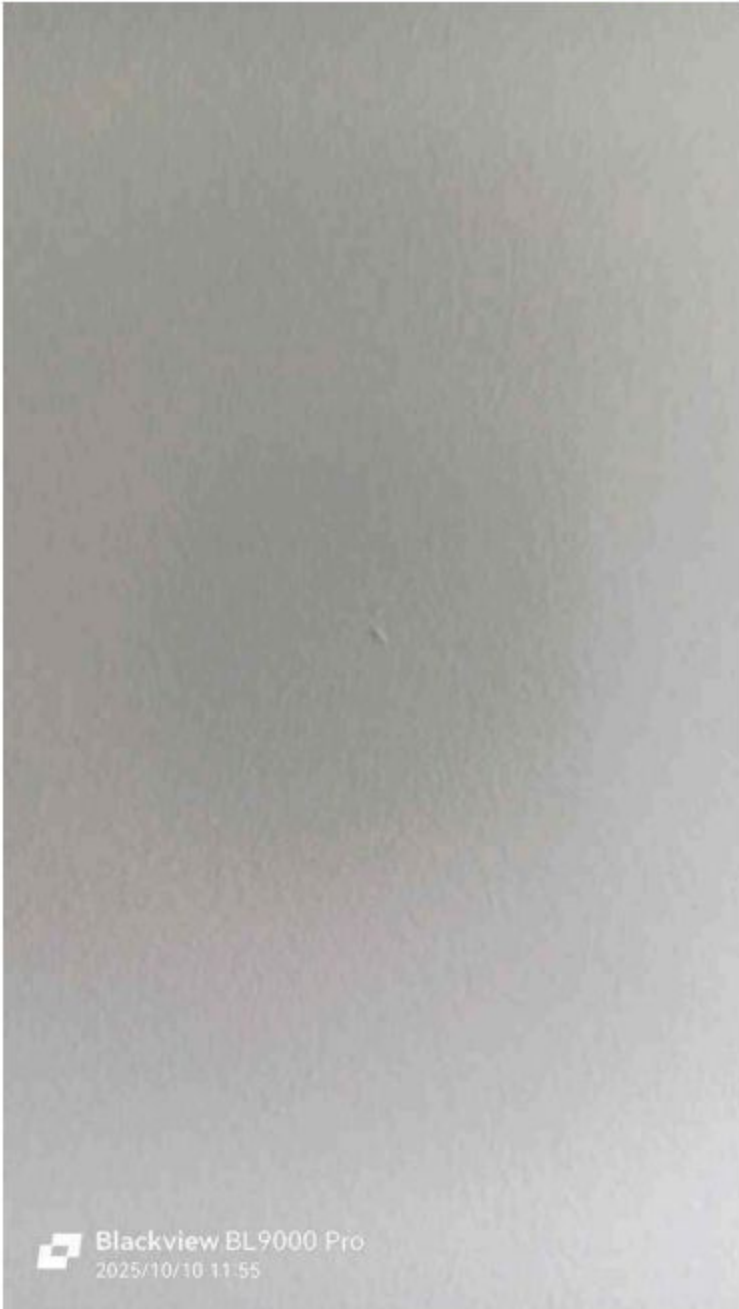
4.1.1 Door(s)

PAINT DEFECT

Will require repair to improve appearance.

 DEFECTIVE





4.3.1 Walls

MARKS - INDENTS - POOR FINISHES

poor quality finish to paint work

 DEFECTIVE

5: SITTING ROOM

		INS	N/I	N/P	DEF
5.1	Window(s) Condition	X			
5.2	Wall Condition				X
5.3	Ceiling Conditions				X
5.4	Floor Condition	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Observations

5.2.1 Wall Condition

UNACCEPTABLE FINISH TO PAINTING IN MOST OF ROOM

 DEFECTIVE

Visible marks, paint runs , poor finish to crns of walls and around window
Rectify to an acceptable level.





5.3.1 Ceiling Conditions

POOR PAINT FINISH

poor quality paint finish to areas of the ceiling

 DEFECTIVE



6: KITCHEN

		INS	N/I	N/P	DEF
6.1	Windows Condition	X			
6.2	Walls Condition	X			
6.3	Ceiling Conditions	X			
6.4	Floor Condition	X			
6.5	Exhaust Fan Condition	X			
6.6	Cooktop/Stove/Oven/Dishwasher	X			
6.7	Splashback	X			
6.8	Tap(s) Condition	X			
6.9	Sink Condition				X
6.10	Waste Water Trap - under sink	X			
6.11	Bench Top Condition	X			
6.12	Cabinet Condition	X			
6.13	Pantry				X

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Cooktop/Stove/Oven/Dishwasher: Cooktop/Oven/Stove

Kitchen

Electrical appliances are not included in building inspections as outlined in AS4349.1. Please note that we do not conduct tests on electrical or gas appliances. However, we may briefly switch on the appliance at our discretion. We strongly recommend that all servicing and maintenance be performed by a qualified and experienced technician. Additionally, we suggest requesting a statement from the vendor regarding the condition of the appliance, as well as obtaining any available manuals.

Observations

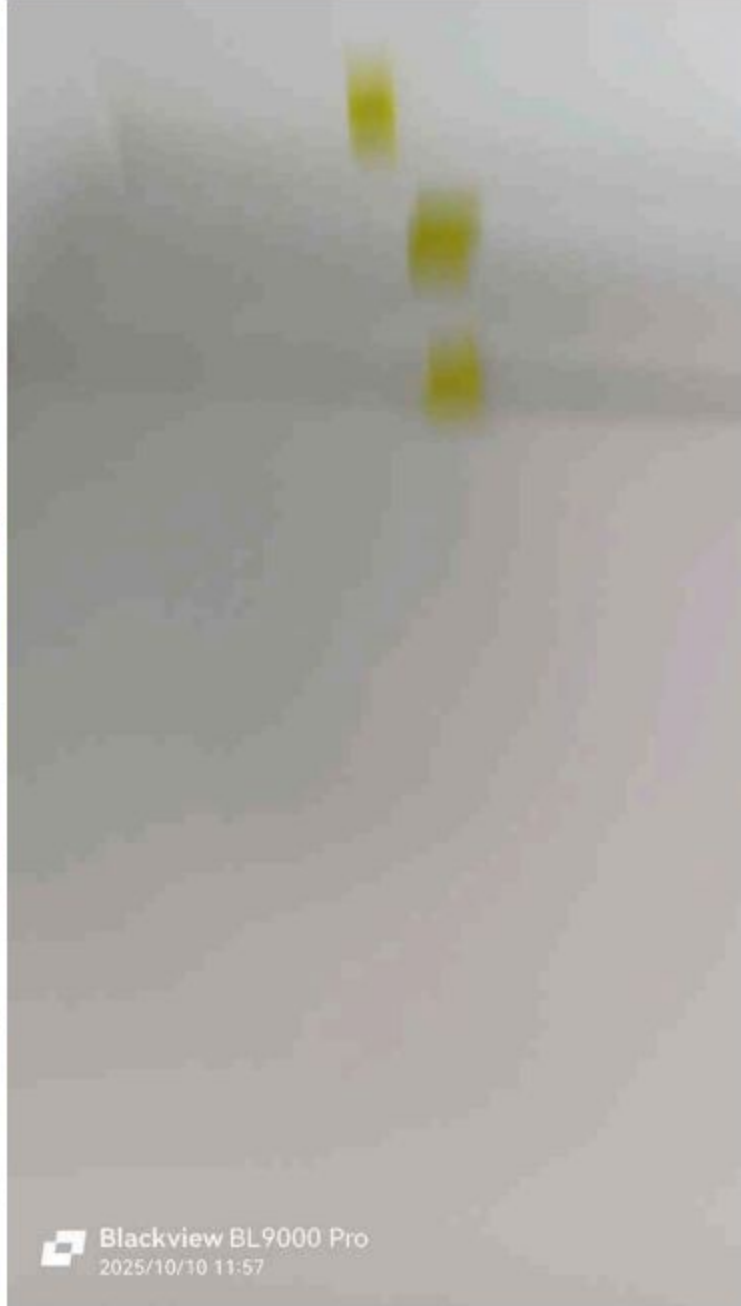
6.2.1 Walls Condition

POOR PAINT QUALITY

Not painted to tradesman standards.
Recommend repainting

DEFECTIVE





6.3.1 Ceiling Conditions
PAINT DEFECT OBSERVED
Repair as required

 DEFECTIVE

6.9.1 Sink Condition

SINK IS OUT OF SQUARE TO BENCHTOP

sink does not sit square with bench top



6.9.2 Sink Condition

SUGGEST CAULKING AS NECESSARY

Seal all gaps and voids to prevent water penetration



6.13.1 Pantry

PANTRY SHELVING

the pantry shelving has not been installed as per the plans
plans show shelving heights to be 425mm from plorr even to all 4 shelves
what has been installed is bottom shelf at 500mm then 425mm
which has then made the shelf flush under the power point





7: FAMILY ROOM

		INS	N/I	N/P	DEF
7.1	Door(s) Condition	X			
7.2	Window(s) Condition	X			
7.3	Wall Condition				X
7.4	Ceiling Conditions	X			
7.5	Floor Condition				X

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Observations

7.3.1 Wall Condition

WALL OUT OF PLUMB

 DEFECTIVE

wall is out of plumb and square by 10mm which is outside the standards and tolerances



7.3.2 Wall Condition
PATCHING AND UNFINISHED PAINT WORK OBSERVED
Part of incomplete renovation

 DEFECTIVE



8: HALL/PASSAGE

		INS	N/I	N/P	DEF
8.1	Door(s)	X			
8.2	Walls				X
8.3	Ceiling	X			
8.4	Floor	X			

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Observations

8.2.1 Walls

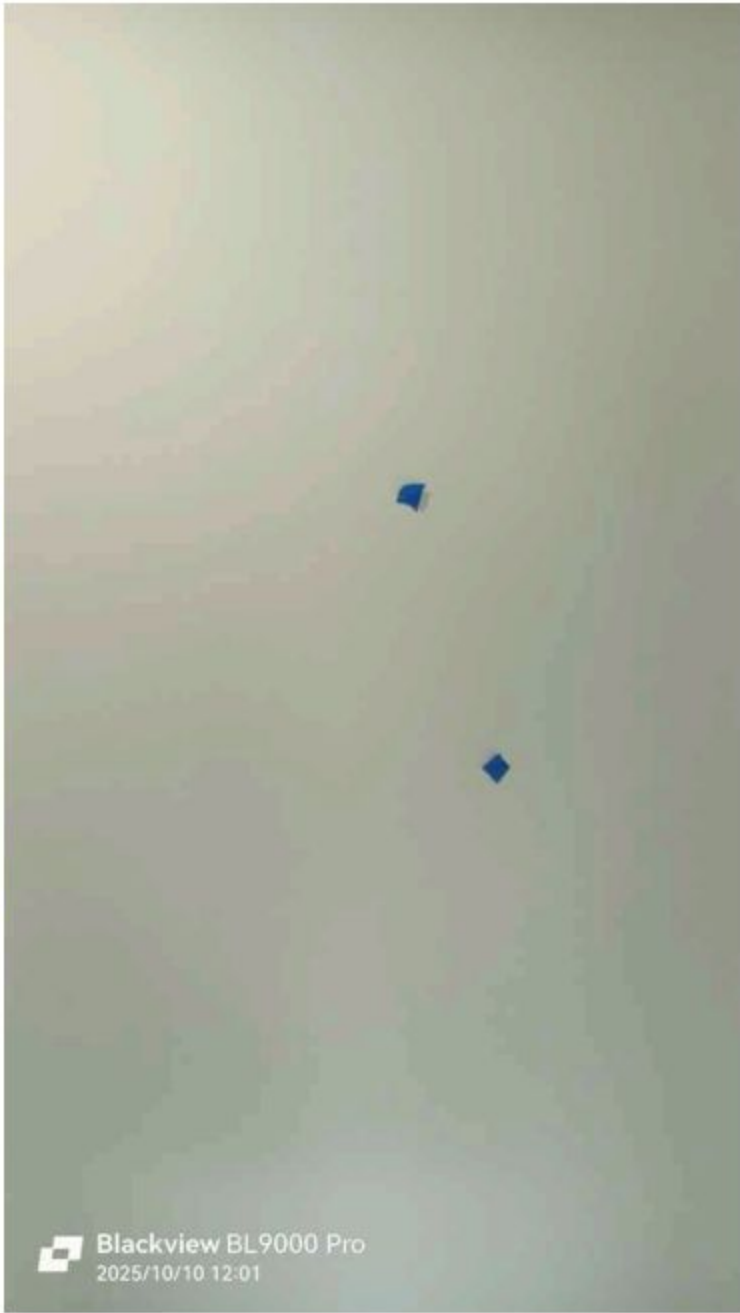
PAINT DEFECT OBSERVED

requires cleaning or minor touchup repairs

−

DEFECTIVE





9: BATHROOM

		INS	N/I	N/P	DEF
9.1	Door(s) Condition				X
9.2	Window(s)	X			
9.3	Walls				X
9.4	Ceiling	X			
9.5	Floor Condition	X			
9.6	Exhaust Fan Condition	X			
9.7	Shower Base Condition	X			
9.8	Shower surround	X			
9.9	Shower Door/Curtain Condition	X			
9.10	Shower Rose/Mast Condition	X			
9.11	Tap(s) Condition	X			
9.12	Bath tub/Spa tub Condition	X			
9.13	Bath Surround	X			
9.14	Mirror Condition	X			
9.15	Splashback	X			
9.16	Sink/s Condition	X			
9.17	Vanity/Cabinets Condition	X			
9.18	Waste Water Trap/s Condition	X			
9.19	Toilet Condition	X			

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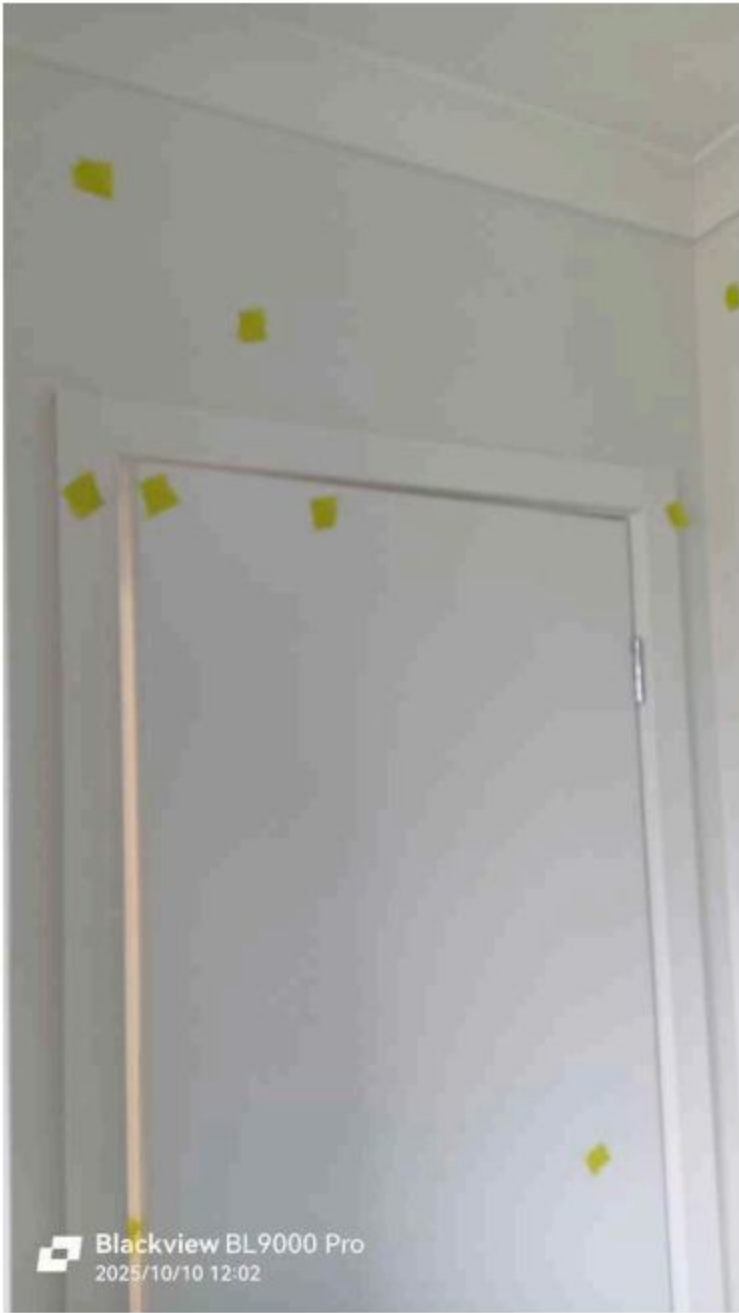
Observations

9.1.1 Door(s) Condition

PAINT DEFECT

Will require repair to improve appearance.





9.3.1 Walls

PAINT DEFECT OBSERVED

Rectify as required

 DEFECTIVE





10: TOILET (WC)

		INS	N/I	N/P	DEF
10.1	Door(s) Condition				X
10.2	Windows	X			
10.3	Walls				X
10.4	Exhaust Fan	X			
10.5	Ceiling	X			
10.6	Floor	X			
10.7	Toilet	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Observations

10.1.1 Door(s) Condition

POOR PAINT FINISH OBSERVED

DEFECTIVE

Recommend repainting to ensure correct coverage and improve appearance.



10.1.2 Door(s) Condition

LIFT OFF HINGES ARE REQUIRED TO INWARD SWINGING DOOR

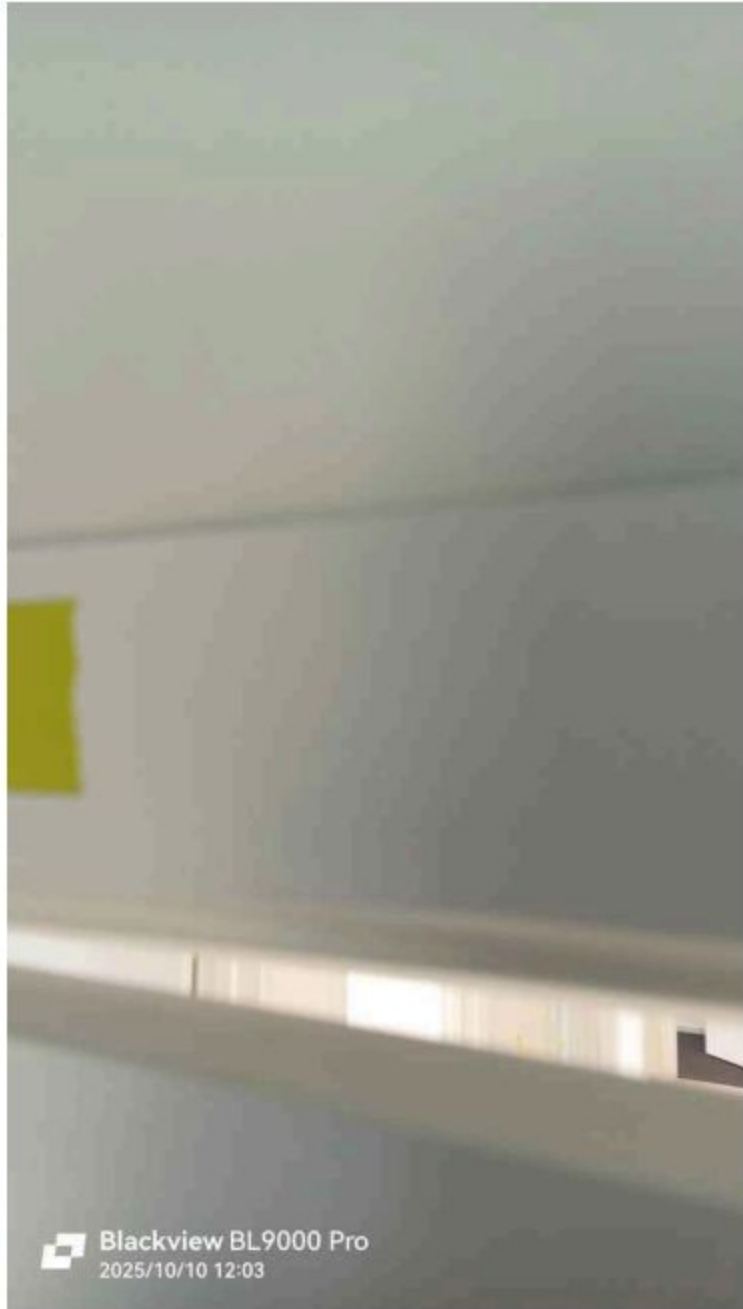
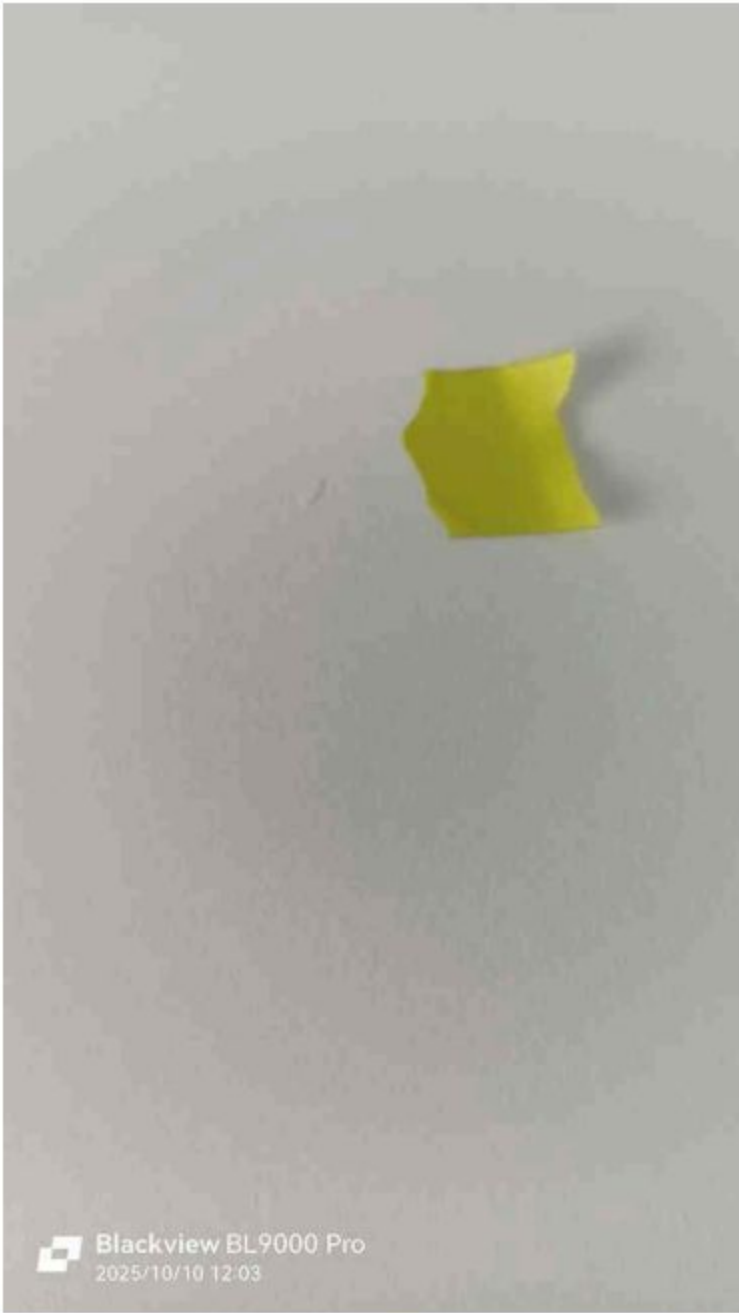
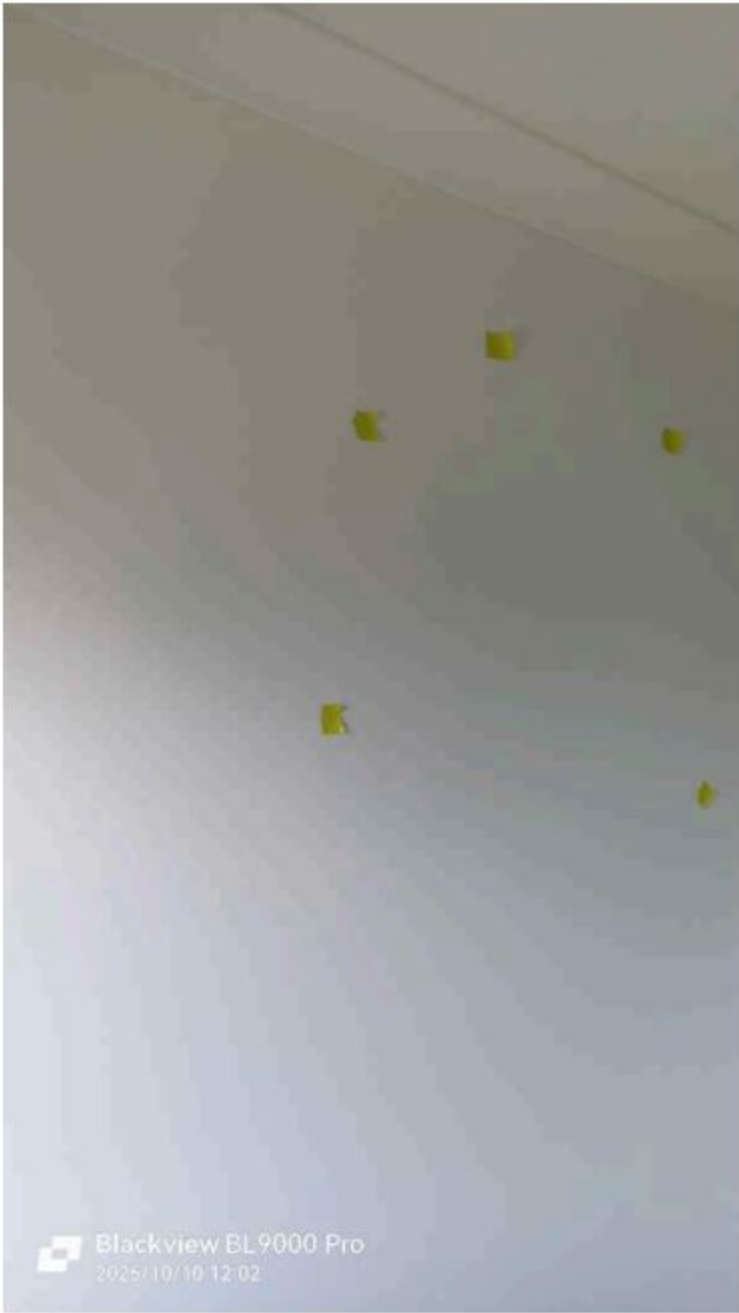
DEFECTIVE

lift off hinges are required on doors to toilets where the pan is within 1200mm of the hinge
The door must be able to be lifted off the hinges
could be lifted off the bottom hinge, not the top hinge



10.3.1 Walls
PAINT DEFECT
Review for repairs

 DEFECTIVE





11: BEDROOM 4

		INS	N/I	N/P	DEF
11.1	Door(s) Condition				X
11.2	Window(s) Condition	X			
11.3	Wall Condition				X
11.4	Ceiling(s) Condition	X			
11.5	Floor(s) Condition	X			
11.6	Robe/Cupboard	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Wall Condition: Walls
Type/Material
Plasterboard Wall Lining

Observations

11.1.1 Door(s) Condition

PAINT DEFECTS

I recommend repainting the door to improve its appearance.

 DEFECTIVE



11.3.1 Wall Condition

PAINT COVERAGE IS NOT SUFFICE.

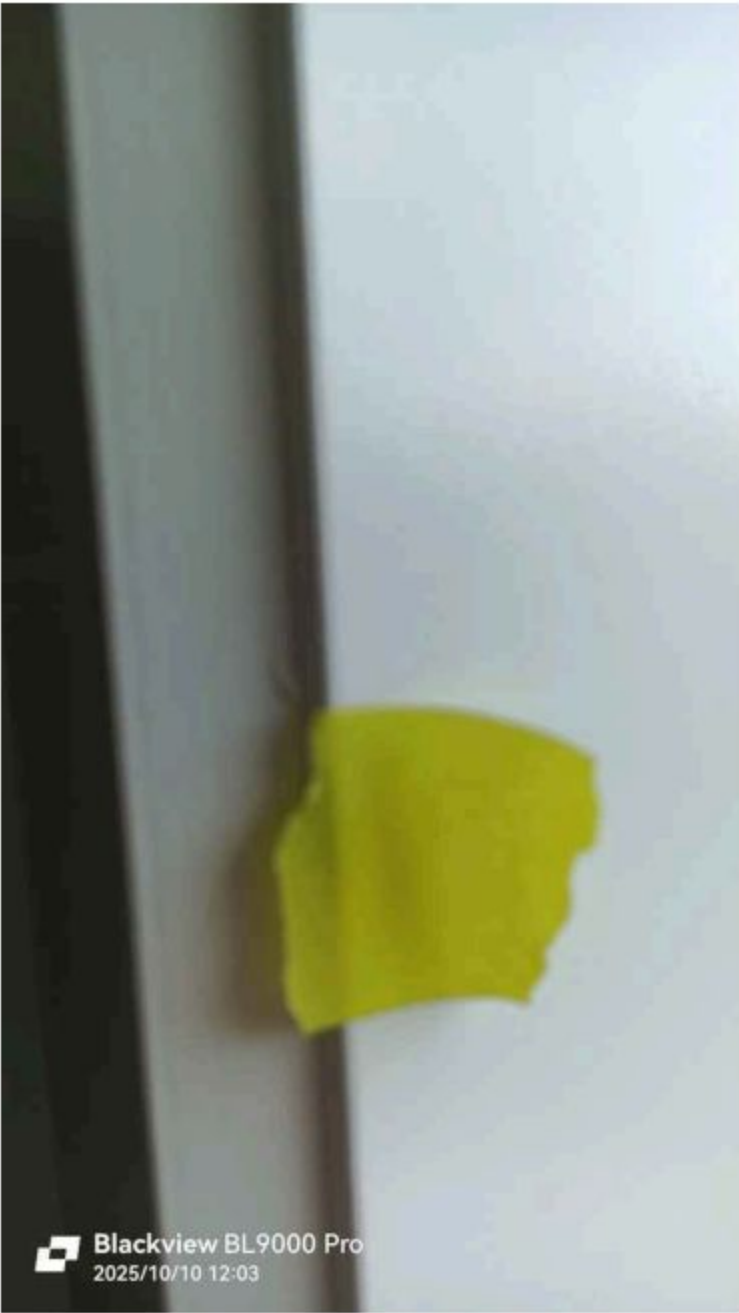
 DEFECTIVE

11.3.2 Wall Condition

PAINT DEFECT

Repaint to improve appearance

 DEFECTIVE







12: LAUNDRY

		INS	N/I	N/P	DEF
12.1	Door(s)				X
12.2	Window	X			
12.3	Walls	X			
12.4	Ceiling	X			
12.5	Floor	X			
12.6	Exhaust Fan	X			
12.7	Splashback	X			
12.8	Laundry Tap/s	X			
12.9	Washing Machine Hook-ups	X			
12.10	Laundry Tub/Sink	X			
12.11	Cabinet	X			
12.12	Waste Water Trap/s	X			
12.13	Linen Cupboard	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Observations

12.1.1 Door(s)

POOR PAINT QUALITY

Recommended adjustment to restore function.

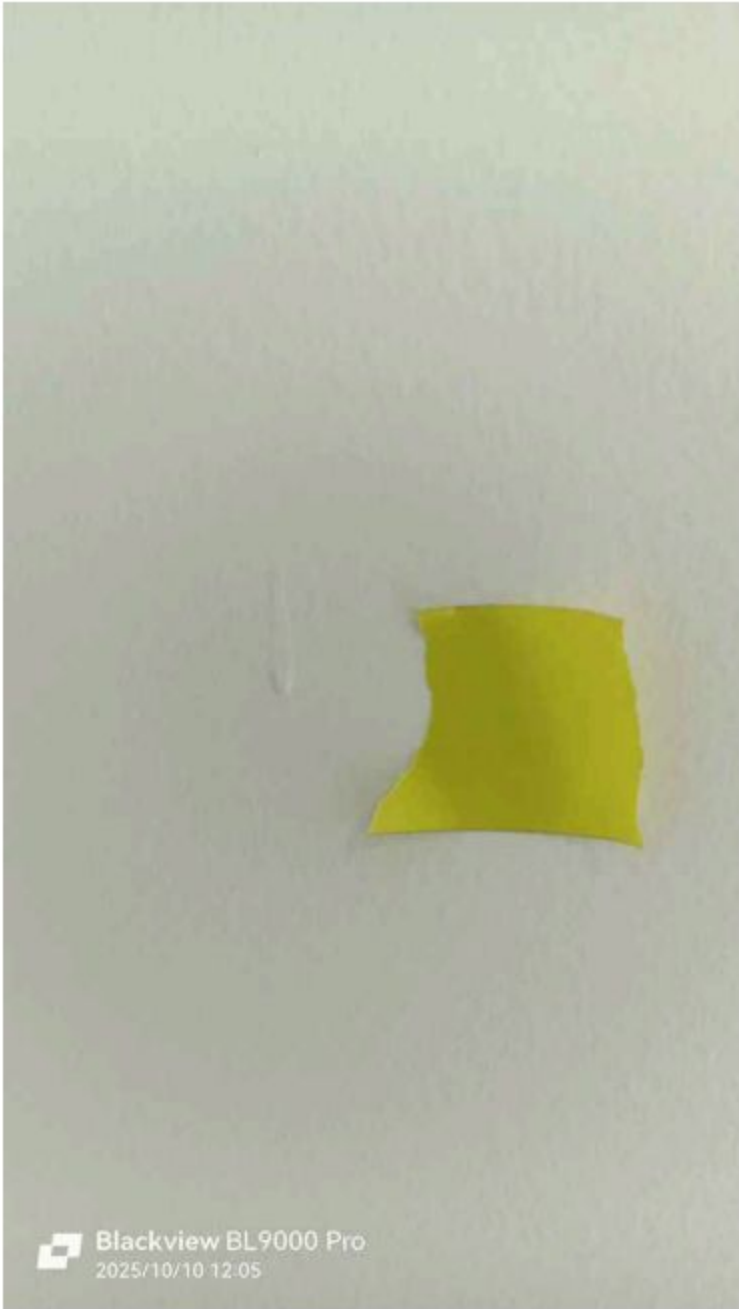


12.3.1 Walls

MARKS / PAINT DRIPS / INDENTS / POOR FINISHES

Requires repairs







13: BEDROOM 3

		INS	N/I	N/P	DEF
13.1	Door(s) Condition				X
13.2	Window(s) Condition	X			
13.3	Wall Condition				X
13.4	Ceiling(s) Condition	X			
13.5	Floor(s) Condition	X			
13.6	Robe/Cupboard	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Wall Condition: Walls
Type/Material
Plasterboard Wall Lining

Observations

13.1.1 Door(s) Condition

PAINT DEFECTS

DEFECTIVE

I recommend repainting the door to improve its appearance.



13.3.1 Wall Condition

PAINT COVERAGE IS NOT SUFFICE.

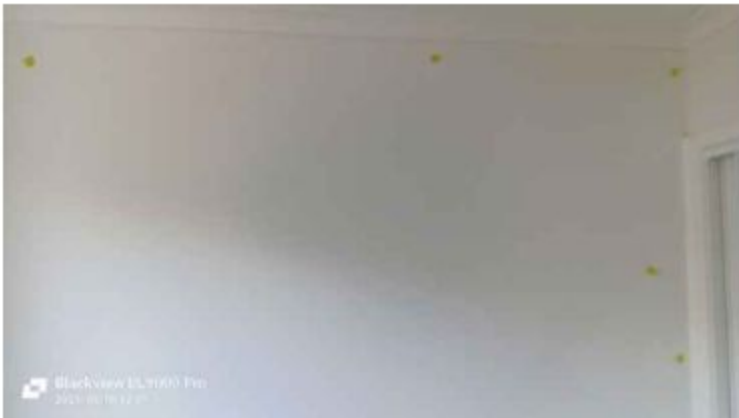
 DEFECTIVE

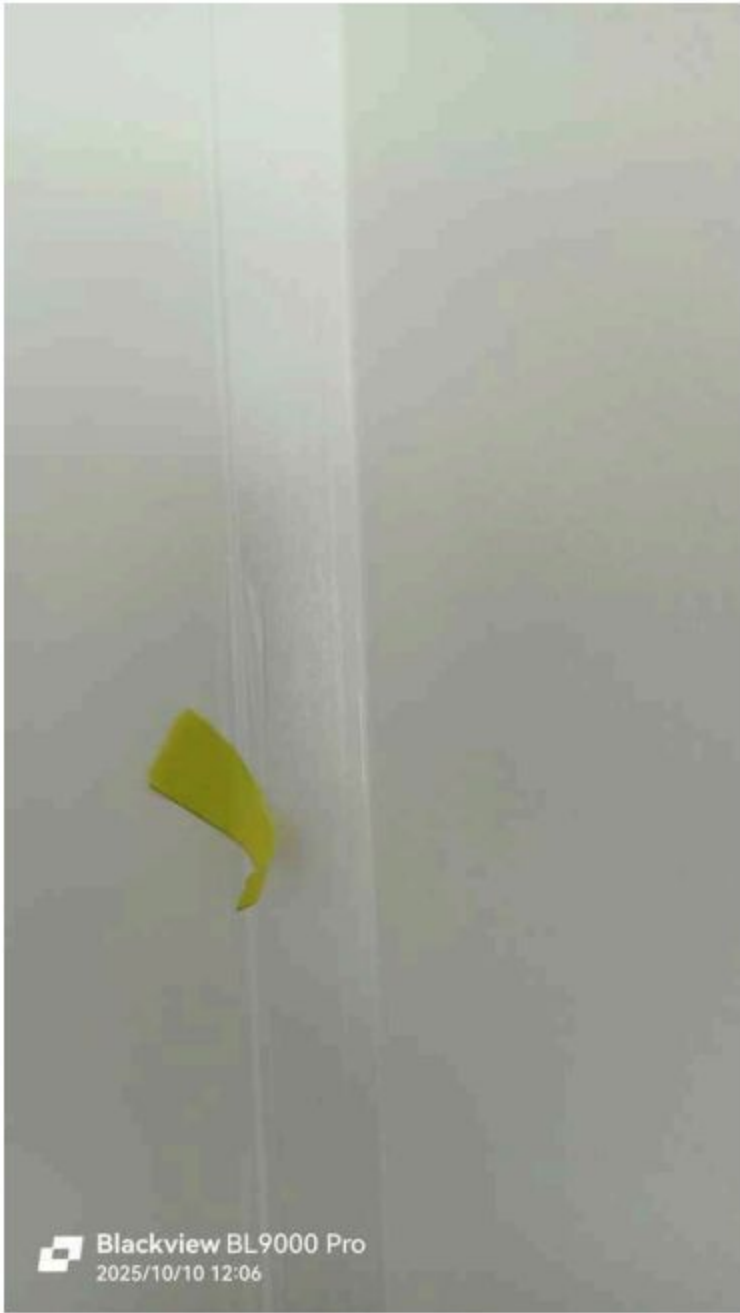
13.3.2 Wall Condition

PAINT DEFECT

Repaint to improve appearance

 DEFECTIVE







14: BEDROOM 2

		INS	N/I	N/P	DEF
14.1	Bedroom/s Identification Image/s	X			
14.2	Door(s) Condition				X
14.3	Window(s) Condition	X			
14.4	Walls	X			
14.5	Ceiling(s) Condition	X			
14.6	Floor(s) Condition	X			
14.7	Robe/Cupboard	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Walls: Walls Type/Material
Plasterboard Wall Lining

Observations

14.2.1 Door(s) Condition

PAINT DEFECTS

DEFECTIVE

I recommend repainting the door to improve its appearance.



14.4.1 Walls

PAINT COVERAGE IS NOT SUFFICE.

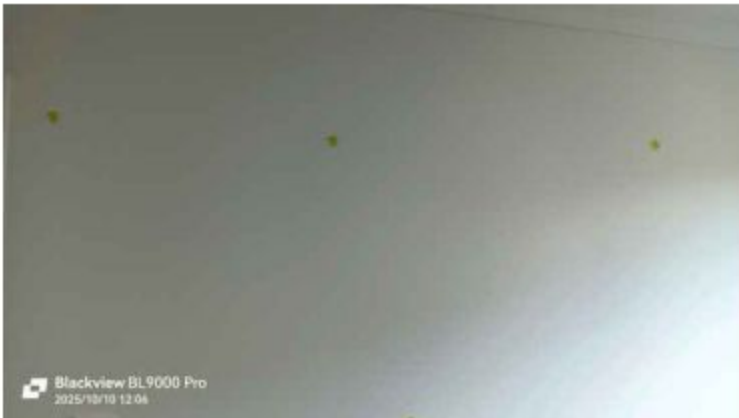
 DEFECTIVE

14.4.2 Walls

PAINT DEFECT

 DEFECTIVE

Repaint to improve appearance





15: ATTACHED GARAGE - UNDER MAIN ROOF

		INS	N/I	N/P	DEF
15.1	Personal Access Door Condition				X
15.2	Window Conditions	X			
15.3	Wall Condition	X			
15.4	Ceiling Lining Condition	X			
15.5	Floor Condition				X
15.6	Vehicle Door Condition	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Observations

15.1.1 Personal Access Door Condition



HARDWARE IS DAMAGED

The hardware is damaged , will require repair or replacement to restore correct fuction.

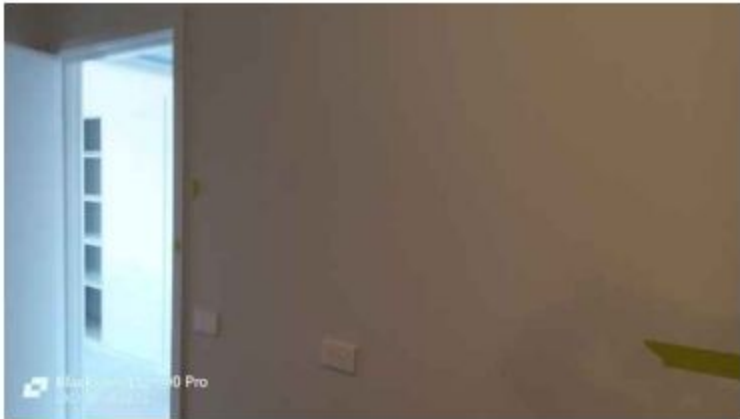


15.3.1 Wall Condition



PAINT DEFECTS OBSERVED

Rectify as required





15.5.1 Floor Condition

PAINTING/STAINS TO SLAB THROUGHOUT

Rectify

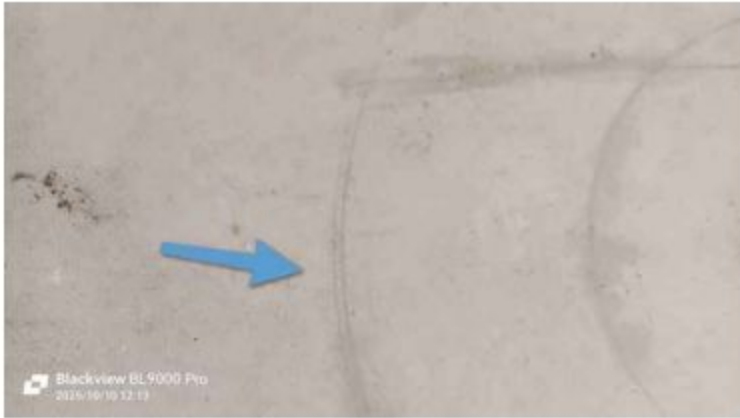
 DEFECTIVE

15.5.2 Floor Condition

DAMAGE TO FLOOR FINISH

Recommend repair to improve appearance

 DEFECTIVE



16: ROOF VOID

		INS	N/I	N/P	DEF
16.1	Roof Cladding Underside	X			
16.2	Framing	X			
16.3	Ceiling Insulation	X			
16.4	Sarking	X			
16.5	Ceiling Lining	X			
16.6	Ventilation	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Roof Void Access/Type Access was gained as needed	Ceiling Insulation : Insulation Type Fiberglass Batts	Ceiling Insulation : Not Installed Over Garage
Ceiling Insulation : Not installed over alfresco	Ceiling Lining : Areas visible to the inspector appear in service condition at time of inspection	

Ventilation : In serviceable condition at time of inspection

A roof ventilation system works by providing a continual flow of air through the attic/roof space, helping remove overheated air and moisture from the attic and roof system and reduce the impact of changing temperatures and moisture conditions both inside and outside the home. No guarantee or warranty implied for the installed system.

Ventilation : Generally finished to an acceptable standard

A roof ventilation system works by providing a continual flow of air through the attic/roof space, helping remove overheated air and moisture from the attic and roof system and reduce the impact of changing temperatures and moisture conditions both inside and outside the home.

17: ROOF & DRAINAGE SYSTEM

		INS	N/I	N/P	DEF
17.1	Roof cladding	X			
17.2	Roof flashings	X			
17.3	Valley gutter(s)	X			
17.4	Facia/Bargeboards	X			
17.5	Gutters				X
17.6	Downpipes	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

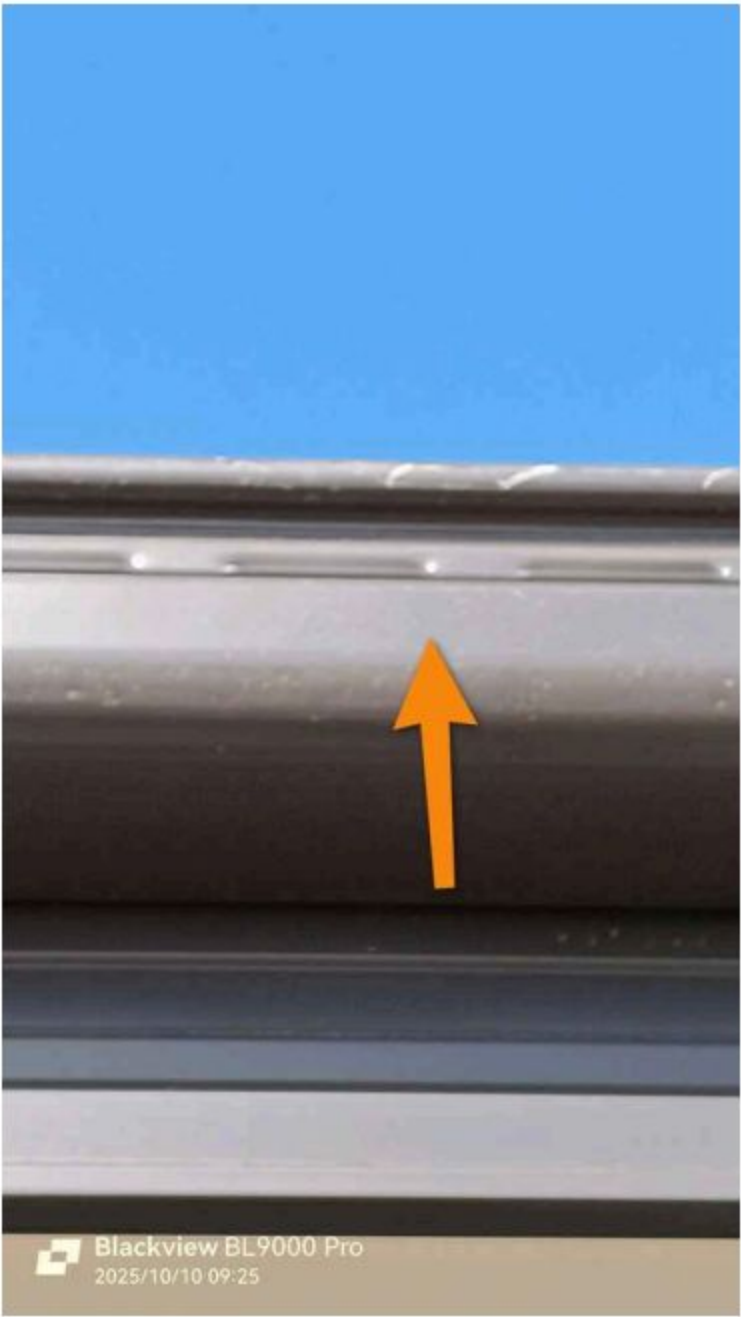
Observations

17.5.1 Gutters

SURFACE SCRATCHES OBSERVED IN AREAS



scratches in gutters observed in areas , taking to color bond protection coating off



18: EXTERIOR

		INS	N/I	N/P	DEF
18.1	Eave/Soffit linings	X			
18.2	Walls				X
18.3	Window/Frames	X			
18.4	Damp damage	X			
18.5	Differential movement	X			
18.6	Brick Fretting	X			
18.7	Mortar eroding	X			
18.8	Weep holes/Vents	X			
18.9	Protective paint coatings	X			
18.10	Control joints	X			
18.11	Lintel beams	X			
18.12	Visible Foundation	X			
18.13	Door step/threshold	X			
18.14	Electrical Meter / Observations	X			
18.15	Gas supply	X			
18.16	Hot-water unit/s	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

Information

Walls: Wall Cladding Material
Brick

Observations

18.2.1 Walls

DEFECTIVE

MINOR CRACKING EVIDENT TO BRICK WORK IN AREAS
Minor settlement movement. Recommend repair with sealant to ensure waterproofing (control joint could be inserted). Monitor any additional movement, and if the cracking should widen or worsen, refer to a Structural Engineer to investigate the underlying cause and stabilise.

18.2.2 Walls

DEFECTIVE

EVIDENCE OF REPAIRS OBSERVED
incorrect mortar color has been used

18.2.3 Walls

MAJOR DEFECT/ SAFETY HAZARD

WALL OVERHANG EXCEEDS MORE THAN 15 MM

A masonry course is defective if it is laid on a concrete slab or strip footing so as to project over the edge of the slab or footing by more than 15 mm.

correct method of fixing is structural grout on overhang up to 35 mm and a galvanized steel angle above 35mm subject to engineering design

steel angle has been installed on overhang larger than 35mm

but angle has been cut and is not galvanized

structural engineering design is also required





18.2.4 Walls

ACID WASHING

acid washing of brickwork is not to an acceptable standard

 DEFECTIVE





19: SITE/GROUNDS

		INS	N/I	N/P	DEF
19.1	Driveway	X			
19.2	Walkway	X			
19.3	Fences	X			
19.4	Gate/s	X			
19.5	Lot Grade and Drainage	X			
19.6	Grounds Observations	X			
19.7	Clothes Line	X			
19.8	Exterior Tap/s	X			

INS = Item Inspected N/I = Not Inspected N/P = Not Present DEF = Deficiency

20: PROPERTY SUMMARY

				INS	N/I	N/P	DEF		
INS = Item Inspected				N/I = Not Inspected		N/P = Not Present		DEF = Deficiency	

Information

Electrical Summary:

Whilst we are not electricians; It is recommended that an electrical inspection be carried out by a licensed electrician to assess the condition of these services. An electrical inspection or assessment is not covered in this building inspection

Plumbing Summary:

Whilst we are not plumbers; it's always recommended that a licensed plumber be engaged to undertake a full assessment of the plumbing and drainage system.

Areas Not Inspected:

Nill; Reasonable access was gained to all areas.

Areas of Limited Inspection

Nill; Reasonable access was gained to all/other areas.

Areas Inspected:

Building and immediate surrounds only inspected

Site Drainage:

Adequate; The site drainage appears adequate at the time of inspection; however this should be monitored during and after rain periods.

Sub Floor Ventilation:

Not applicable with this type of construction.

Areas To Gain Access:

Nill; Reasonable access was gained as needed.

Please note that the Inspection conducted did not cover areas that were inaccessible due to hindered or restricted access. Hindered access areas refer to temporary obstructions, while restricted access areas are permanently restricted or locked.

It is crucial to consider further inspection for any areas where access or visibility was hindered, restricted, or obstructed during the Initial Inspection. This additional inspection is highly recommended to ensure a comprehensive evaluation of the property.

The Inspection requested was a visual, non-invasive inspection conducted in accordance with our Agreement and the Standard. However, it is important to acknowledge that there are limitations inherent in this type of inspection. These limitations can be effectively addressed through further Inspection methods.

We are here to provide you with support and guidance. Should you require more information or wish to schedule a follow-up inspection, please do not hesitate to contact us.

Structural Summary:

No significant structural defects were observed in the visibly accessible areas at the time of inspection; however

Note: Whilst we are not Structural Engineers, this report is the opinion of the inspector based on his knowledge and experience. If the inspector has raised any suspicions at all. We strongly recommend you consult a structural engineer for further assessment.

CONCLUSION SUMMARY: BELOW AVERAGE CONDITION

This inspection report acknowledges that the property is in below-average condition, for a brand new house the paint quality is not to a tradesman like finish
a wall in the family room is out of plumb and sqquare
brickwork needs a hand acid wash
areas where mortar has ben repaired is the wrong color
the house has not been cleaned ready for handover
works still incomplete

Inspection Scope and Limitations:

This inspection aims to identify major defects and safety hazards associated with the property at the time of inspection. It is important to note that the inspection and reporting are limited to a visual assessment of the building members following AS4349.0- 2007. This report provides a general appraisal and should not be solely relied upon. We strongly recommend further inspections by specialist trades for a comprehensive assessment.

Definitions and Terminology:

Serviceable: The building material or component is in reasonable or serviceable condition, considering the age of the dwelling.

Tradesman: Visible defects or a number of defects require assessment by a qualified tradesperson. Age:

Component deterioration due to aging, lack of upkeep, or maintenance.

Monitor: Some defects may require monitoring to determine if they worsen, reappear, or cause further problems.

Strata: For strata and company title properties, the inspection is limited to the interior and immediate exterior of the specific unit being inspected.

Below Average: This inspection report acknowledges that the property is in below-average condition and exhibits signs of deferred maintenance. Multiple areas require repair, maintenance, or updating. Consequently, certain cosmetic items—such as worn flooring and deteriorated interior paint—have been intentionally excluded from detailed evaluation, as they fall outside the primary scope of this report.

Average Condition: The overall workmanship throughout the dwelling is generally of good quality. However, there are noted defects and areas of incomplete work that require rectification to achieve a consistent and acceptable standard of finish. As outlined in this report, the dwelling is not considered ready for handover or occupancy until these issues have been adequately addressed.

Above Average Condition: The overall condition of the property is considered above average when compared to dwellings of similar age and construction. Most areas and components appear to be well-maintained, demonstrating a good standard of workmanship. However, some areas will require repair or maintenance, as outlined in the body of this report.

Significant Items: Items that must be reported as per the scope of the inspection.

MAINTENANCE - Maintenance items, DIY/Handyman items, or recommended upgrades will fall into this category. These concerns will ultimately lead to Defects and Major Concerns and/or Safety Issues if neglected for extended periods. These Concerns may be more straightforward to remedy.

DEFECT - Most items will fall into this category. These are concerns that inevitably lead to or directly cause (if not addressed in a timely manner) an adverse impact on the value of the home or unreasonable risk (Unsafe) to people or property. These concerns typically require further evaluation or maybe more complicated to remedy and can typically be corrected by a qualified handyman or qualified and licensed contractor.

MAJOR DEFECT/SAFETY ISSUE - A specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property or that poses an unreasonable risk to people or property (Safety Issue). These Concerns are often imminent or may be very difficult or expensive to remedy and should be evaluated by a structural engineer and corrected by a qualified and licensed contractor. Accessible

Area: Areas of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Report: The written report is considered the final and exclusive findings. Any oral statements made by the inspector prior to the issuance of the written report should not be relied upon. The inspector reserves the right to modify the report within 72 hours after its initial delivery—**limitation:** A factor that prevents full or proper inspection of the building.

Important Information:

It is important to understand the scope and limitations of the inspection and this report. The following clauses define the scope and limitations, forming an integral part of the report. The inspection comprised a visual assessment of the property to identify major defects and form an opinion regarding the general condition at the time of inspection. The report does not include estimates for the cost of repairs and should not be used as a marketing tool by real estate agents. The report applies only to the purchaser. Structural cracking should be referred to a structural engineer for further assessment and advice. Acceptance criteria compare the building with generally accepted practices at the time of construction. Limitations include the inspection being limited to accessible areas and not covering geological, engineering, electrical, plumbing, gas, or motorised appliances. It is strongly recommended that an appropriately qualified contractor checks these services prior to purchase. All prospective purchasers should have an electrical report carried out by a suitably qualified contractor for safety purposes. This report is limited to the main structure on the site and any other building, structure, or outbuilding within 30m of the main structure and within the site boundaries, including fences, unless otherwise noted.

Safe and Reasonable Access:

Only areas with safe and reasonable access were inspected. Reasonable access is defined by AS4349.1 or AS4349.0 as areas where safe, unobstructed access is provided and the minimum clearances specified are available. In cases where

these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length are considered accessible. Reasonable access does not include removing screws and bolts to access covers, using destructive or invasive inspection methods, cutting or making access traps, or moving heavy furniture, floor coverings, or stored goods.

Roof Interior: Access opening of 400 x 500 mm, crawl space of 600 x 600 mm, and height accessible from a 3.6m ladder.

Roof Exterior: Accessible from a 3.6m ladder placed on the ground.

1) Not a Certificate of Compliance: This report does not encompass every aspect of the building and should not be considered an all-encompassing report. It aims to identify any obvious or significant defects apparent at the time of inspection. Defect significance depends on factors such as the age and type of the building. It is not a certificate of compliance with the requirements of any act, regulation, ordinance, or by-law. It is not a structural report, and a structural engineer should be consulted for structural advice.

2) VISUAL INSPECTION: This is a visual inspection limited to accessible areas of the property that are visible to the inspector on the inspection date.

2.1) Please note that certain areas listed in the report may not have been physically inspected due to various limitations, such as storage, furniture, or restricted access. In such cases, it is possible that defects or termite activity may exist in these areas. To thoroughly inspect these restricted areas, additional measures such as removing furniture or obtaining permission from the property owner may be required.

Please read the entire inspection report to fully understand the findings, and feel free to reach out to me if you have any questions before making a purchase.

2.2) Inspecting attics or roof voids with deep insulation can be challenging due to limited visibility and potential damage to the insulation and framing. In such cases, the inspection is limited to the visible areas from the hatch only.

2.3) Roof coverings will be inspected from a ladder at gutter height, and second-story roofs will not be inspected due to safety reasons. Limitations in roof access may prevent the detection of hidden defects. The overall condition of the roofing material will be assessed if accessed by the inspector, but we do not provide opinions or warranties regarding potential leaks. It is recommended to observe the roof during rainfall to determine its watertightness and any identified issues or concerns referred to a roofing professional.

2.4) The exterior inspection is limited in scope and does not cover all components. Certain features, such as second-floor windows, geological conditions, or environmental hazards, are not included unless specified. Please consult a structural engineer for advice on any wall cracks found in the dwelling.

2.5) Timber-framed windows may bind or stick due to moisture fluctuations. If this issue persists, adjustments by a carpenter may be necessary. We do not operate windows with fungal decay or deteriorated seals to avoid potential damage. Water leaks to windows cannot be determined without rainfall.

2.6) Internal inspections: These are limited by floor coverings, cupboards, and furnishings, which may obstruct visibility. The condition of walls behind coverings cannot be inspected. Wood burning and fireboxes are not within the scope of this inspection. It is recommended to have them tested separately.

2.7) Cracking of Building Elements: Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. A crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the homeowner, resulting in major, expensive rectification work. Information is required to determine the consequences of cracking.

Nature of the foundation material on which the building is resting:

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However, the information obtained from the items above is valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories:

Cracking is also categorised into the following 5 categories with a description of typical damage and required repairs:

0 - Hairline cracking, less than 0.1mm,

1 - Fine cracks that do not need repair, less than 1.0mm,

2 - Noticeable cracks, yet easily filled 1mm - 5.0mm,

3 - Cracks that can be repaired, and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired, 5.0mm -15.0mm,

4 - Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and or cause reduced bearing capacity, 15.0mm - 25.0mm.

IMPORTANT: Regardless of location or size, If cracks have been identified, then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2.8) If there is an elevated structure present, such as a deck or balcony designed for people, it is crucial to have it checked by an engineer. Annual inspections by a qualified professional are also recommended for maintenance

purposes. Please note that our inspection does not indicate suitability for specific purposes or occupancy. Concealed structural components require the removal of linings or obstructions for evaluation by a qualified person.

3) CONCEALED DEFECTS: This report does not make comments on defects that may be concealed, the assessment of defects affected by weather conditions, the condition of timber pests, gas fittings, common property areas, environmental concerns, proximity to flight paths or busy traffic, noise levels, health and safety issues, heritage concerns, security concerns, fire protection, site drainage (excluding surface water drainage), swimming pools and spas (non-structural), detection of illegal building or plumbing work, the durability of exposed finishes, neighbourhood problems, document analysis, electrical installation, matters regulated by statute, or areas/items that were inaccessible for inspection.

4) NO GUARANTEE: This report does not guarantee the absence of defects or damage in inaccessible or partly inaccessible areas of the property. Special-purpose property reports may cover such matters upon request.

5) SWIMMING POOLS: Swimming pools and spas are not included in the standard building report and are not covered by this report. It is strongly recommended to consult a pool expert to examine the pool, equipment, and plumbing. An inspection and assessment to ensure compliance with pool fencing standards. Failure to conduct this inspection and implement necessary recommendations may result in non-compliance findings under legislation.

6) SURFACE WATER AND DRAINAGE: Retention of surface runoff water can affect the foundation material and footings of the house. It is advised to direct water away from the house or to stormwater pipes that a licensed drainage plumber installs. The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited and may not account for heavy rainfall. It is recommended to obtain a smoke test to identify illegal connections and blocked or broken drains.

7) SHOWER RECESSES: Shower areas are visually checked for leakage, but leaks may not be apparent unless the shower is in long-term use. Determining the watertightness of shower areas and enclosures is beyond the scope of this inspection. Proper maintenance, including sealing, is essential to prevent water damage. Tests may be conducted on shower recesses to detect leaks, but these tests have limitations and may not reveal all leaks. No evidence of current leakage during the inspection does not guarantee the absence of leaks.

8) GLASS CAUTION: Older houses built before 1978 may not comply with current glass safety standards. For safety purposes, glass panes in doors and windows, especially in high-traffic areas, should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standards.

9) STAIRS AND BALUSTRADES: National Construction Code Section 3.9 sets safety standards for stairs, landings, and balustrades in buildings. Balustrades and stairs built before 1996 may not comply with the current standard. It is necessary to upgrade these components to the current standard to ensure safety.

10) RETAINING WALLS: Retaining walls higher than 700mm should have been installed with engineering design and supervision. The performance of retaining walls is not covered in the standard property report. Further investigation is recommended regarding drainage systems, load-bearing capacity, component sizing, and batter.

11) ROOMS BELOW GROUND LEVEL: Rooms below the house or below ground level, whether habitable or non-habitable, may experience dampness and water penetration. Drains may not be installed correctly or could be blocked. Damp problems and water entry in these areas, especially during heavy rainfall, may not be immediately evident during the inspection. These rooms may not have council approval. It is advised to inquire with the Council to determine if approval was given.

12) ADDITIONAL DOCUMENTS: It is recommended to request additional documentation from the vendors concerning the property before the settlement.

13) ASBESTOS DISCLAIMER: This report does not include an inspection for asbestos, and no report on the presence or absence of asbestos is provided.

14) MOULD DISCLAIMER: This report does not include an inspection for mould, and no report on the presence or absence of mould is provided. Mould and its spores can cause health problems or allergic reactions in certain individuals. If observed, then it may be included in the report.

15) MAGNESITE DISCLAIMER: This report does not include an inspection for Magnesite flooring, and no report on the presence or absence of Magnesite flooring is provided. It is advisable to inquire with the owner and seek advice from a structural engineer regarding Magnesite flooring.

16) ESTIMATING DISCLAIMER: This report does not provide estimates for repairs. It is strongly recommended to obtain quotes from licensed tradesmen before making a decision to purchase.

17) DISCLAIMER OF LIABILITY: This report does not accept liability for problems in areas or sections of the property that were physically inaccessible for inspection or denied access to the inspector. Compensation is limited to a full refund of the fee to the client named in the report.

18) DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation is only payable for losses arising in contract or tort sustained by the client named in the report. Third parties relying on this report do so at their own risk.

19) COMPLAINTS PROCEDURE: In the event of a dispute or claim related to the inspection or report, either party may give written notice to the other party. If the dispute is not resolved within 21 days, it may be referred to a mediator located in the inspector's local jurisdiction. Mediation costs will be shared equally. If mediation fails, the dispute may be referred to the Institute of Arbitrators and Mediators of Australia for arbitration. The arbitrator will determine the costs each party must pay.

OTHER RECOMMENDED INSPECTIONS

Electrical installation: A qualified electrician should inspect all electrical wiring, meter boxes, and appliances. This inspection is outside the scope of this report.

Plumbing: A plumber should inspect and report on all plumbing, including septic tanks.

Hot water service: A plumber and/or electrician should check the hot water service.

Gas: A gas plumber should inspect and report on all gas services.

Phone: A telecommunications technician should inspect and report on all phones, phone lines, and outlets.

Smoke Alarm: According to Australian standard AS3786, smoke alarms are required for buildings where people sleep. It is recommended to consult an electrician for advice on existing smoke alarms or for installation.

Trees: Consult an arborist if trees are located too close to the house, as this can affect the performance of the footing due to changes in moisture levels in the ground.

Contact the inspector: If you have any difficulty understanding the report or need clarification, please contact the inspector who conducted the inspection. It is important to fully understand the report before taking any action.

Scope and Limitations: This inspection is a visual assessment of the property to identify major defects and safety hazards at the time of inspection. It does not include estimates for the cost of rectifying defects. If the property is part of a strata or company title, the inspection is limited to the interior and immediate exterior of the specific unit. It does not cover common property. If the contract becomes binding more than 30 days after the initial inspection, a re-inspection is recommended. This report is intended for the client named in the AGREEMENT and CLIENT INFORMATION section and should not be used as a marketing tool by real estate agents.

Cracking of Building Elements: Any cracking reported in this report should be referred to a structural engineer for further assessment and advice.

Acceptance Criteria: The building is compared to a building constructed in accordance with generally accepted practices at the time of construction, and that has been well-maintained.

Limitations: This report is limited to a visual inspection of areas with safe and reasonable access on the date and time of inspection. It does not cover geological or engineering aspects, electrical, plumbing and drainage systems, gas, or motorised appliances. It is recommended to have these services checked by qualified contractors. Safe and reasonable access is defined by Australian Standards and does not include invasive methods or moving heavy furniture.

Roof Interior Access: Access openings should be 400 x 500 mm, crawl spaces should be 600 x 600 mm, and accessible height should be reachable from a 3.6m ladder.

Please note that this report provides general advice and recommendations. It is strongly advised to seek specialist and qualified tradespeople for further inspections and assessments.

Contact the Inspector: If you have any difficulties understanding the report or need clarification on any matter, please feel free to contact the inspector who conducted the inspection. It is sometimes challenging to fully explain situations, problems, access difficulties, building faults, or their significance in a written report. Therefore, contacting the inspector directly can provide a better understanding of the findings before taking any action.